

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
July 13, 2022
MINUTES**

Chairperson Kelley called the meeting to order at 5:30 p.m.

ROLL CALL:

Present: Kelley, Jahr, Barr, Budd

Excused: Cullin and Atchinson.

Staff: Director Power, Director Renaud, Executive Assistant Dohring, Director Ireland, and Secretary Zantop.

Planning Representatives: McKenna Associates, Vidya Krishnan, and Fishbeck Associate, Paul Kammer.

Applicant(s) in Attendance: Craig Armstrong of Elevatus Architecture on behalf of Meijer, Stephen Gedert on behalf of Van Buren Township.

Audience: Six (6)

APPROVAL OF AGENDA:

Motion Barr, Budd second to approve the agenda of July 13, 2022, as presented. **Motion Carried.**

APPROVAL OF MINUTES:

Motion Jahr, Barr second to approve the regular meeting minutes of June 22, 2022, as presented. **Motion Carried.**

PUBLIC HEARING:

ITEM # 1 GASOLINE FILLING AND GASOLINE SERVICE STATION ZONING ORDINANCE TEXT AMENDMENT

**Proposed amendments to Article 3 (Zoning Districts and Permitted Uses)
regarding the categorization of gasoline filling service stations.**

Motion Jahr, Barr second to open the public hearing. Motion Carried.

Director Power gave a brief introduction on the proposed zoning ordinance text amendments. The amendment would make all gas filling stations a special land uses in their perspective zoning districts where they are permitted. Currently, gas stations are permitted by right in a number of zoning districts. Special land use process requires a public hearing and Planning Commission and Board approval.

No comments from the audience or remote viewers.

Motion Budd, Jahr second to close the public hearing. Motion Carried.

ITEM # 2 CASE 22-006: MEIJER, INC – PHARMACY DRIVE-THRU AND GASOLINE STATION RENOVATIONS – SPECIAL LAND USE

Applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. requests to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store’s pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements. The property is zoned C-2 - Extensive Highway Business District.

9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road.

Motion Jahr, Barr second to open the public hearing. Motion Carried.

Director Power clarified the special land use consideration is specific to the addition of a pharmacy drive-thru at the Meijer site at 9701 Belleville Road.

No comments from the audience or remote viewers.

Motion Budd, Jahr second to close the public hearing. Motion Carried.

NEW BUSINESS:

ITEM # 1 CASE 22-006: MEIJER, INC – PHARMACY DRIVE-THRU AND GASOLINE STATION RENOVATIONS – SPECIAL LAND USE

Applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. requests to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store’s pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements. The property is zoned C-2 - Extensive Highway Business District.

LOCATION: 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road.

Director Power displayed plans for reference and deferred to Principal Planner Vidya Krishnan of McKenna Associates for presentation of her review.

Vidya Krishnan of McKenna Associates summarized her review letter dated 6-30-22. The proposal is to remodel the existing Meijer store. The building will offer a drive-thru pharmacy, a reconfigured garden center along with upgraded façade treats for the entire building and the remodeling of the existing gas station. The proposed special land use meets the general standards for consideration of special land use approval. Therefore, McKenna Associates recommends the Planning Commission recommend to the Township Board of Trustees to grant special land use approval for the proposed pharmacy drive-thru use to be added to the Meijer site.

Craig Armstrong of Elevatus on behalf of owner Meijer, Inc. stated all drawings are being revised to remove outdoor display sales areas and add portions of landscaping in accordance with the C-2 zoning district. Mr. Armstrong is available to address any questions.

Commissioner Jahr commented that the report from Elevatus Architecture was very thorough.

No questions or comments from the audience or remote views.

Motion Jahr, Barr second to recommend to the Township Board to grant the applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. the special land use approval to permit the construction of a drive-thru addition to the store's pharmacy at the site located at 9701 Belleville Rd based of the analysis and subject to any conditions in the McKenna letter dated 6-30-2022 and the revised letter from the Planning Director.

Roll Call:

Yeas: Kelley, Jahr, Barr, Budd

Nays: None.

Excused: Cullin and Atchinson.

Motion Carried.

ITEM # 2 CASE 22-006: MEIJER, INC – PHARMACY DRIVE-THRU AND GASOLINE STATION RENOVATIONS – PRELIMINARY SITE PLAN

Applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. requests to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store's pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements. The property is zoned C-2 - Extensive Highway Business District.

LOCATION: 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road.

Director Power clarified the Planning Commission may approve preliminary and final site plan approval at the same time based on the language in the zoning ordinance. Director Power displayed the site plan.

Vidya Krishnan of McKenna Associates presented her site plan review letter dated 6-30-2022. The site was constructed predating the Belleville Road Overlay District (BROD). The site was brought as much to compliance as possible to meet the requirements of the BROD. The applicant eliminated parking spaces by putting in new landscape island. It is recommended that in the future if any additional outlots are developed on the north side of the site, the excess parking be used towards such use instead of construction of more impervious surface. If engineering is compliant at this time, McKenna Associates recommends preliminary and final site plan approval for the Meijer project subject to the four (4) conditions listed in the site plan review letter dated 6-30-2022. A set of revised plans shall be submitted to Director Power addressing the following conditions:

1. Removal of outdoor sales area shown on sheet E-101(2).
2. Clarification of calculations with regard to required landscaping square footage of various areas on the site.
3. Revised photometric plan to indicate compliance with illumination intensity below the gas station canopy.
4. Wayne County and Township Engineer approval of storm water detention

Paul Kammer of Fishbeck Associates presented his final site plan review letter dated 7-7-2022. Due to the lack of underground work the applicant has chosen not to do soil boring. The applicant has stated that a 3rd Party inspector will be onsite, determining soil bearing capacity. It is ultimately the applicant's responsibility to determine soil bearing capacity and ground water for any excavation work they are performing. The Township inspector(s) has the right to require additional testing be done if results are not acceptable. It is Fishbeck's understanding that the Meijer Site drainage system and pond have been a cause for some concern with the Township. The applicant has provided a "Stormwater Restoration Work" narrative, explaining the restoration and revitalization work that was done to the existing pond in September of 2020. It shall be the applicant's responsibility to maintain the functionality of the system throughout and after construction is complete. Fishbeck recommends Final Site Plan approval based on the Engineering Review for the Meijer Store addition and renovation project subject to the applicant addressing the final comments listed in the letter dated 7-7-2022.

Director Power gave an overview of the Fire Marshall's review of the Meijer plans. All concerns have been addressed and note the information for "Knox Box" on the review letter.

Commissioners and audience members had the following questions and comments:

- Commissioner Jahr asked Mrs. Krishan about the sign package and sign plans. Typically, applicants submit the sign package once the building permits have been approved. Note the sign shown in the architecture plan are not approved in those dimensions and will need to be permitted separately.
- Commissioner Jahr asked Mr. Kammer about the condition he removed regarding steps. In the original review of the detailed grading plan, there were grades that were off by about one (1) foot. The applicant was asked to note on the grading plan that those are in fact steps. The comment has been resolved.
- Commissioner Jahr commented that the plans look nice.
- An audience member asked how the drive-thru for the pharmacy will be routed and if there will still be a garden center. The route for the drive-thru is a horseshoe shape shown and explained on the displayed plan. Meijer associates explained the outdoor garden area will be reduced in size to not interfere with the drive-thru.
- Commissioner Jahr stated Mrs. Krishnan and Mr. Kammer are in favor of preliminary and final site plan approval and asked Director Power what his stance is. Director Power is in favor of both preliminary and final site plan approval.

Motion Barr, Jahr second to grant approval for preliminary and final site plan for the Meijer Pharmacy drive-thru and gas station renovations at 9701 Belleville Road based on and subject to any recommendations in the June 30, 2022, McKenna letter, adding point five (5) that signs still require approval, the 7-7-2022 Fishbeck engineering letter, acknowledging that the grading plans would indicate the steps, and the 5-17-2022 letter by the Van Buren Fire Department.

Roll Call:

Yeas: Kelley, Jahr, Barr, Budd

Nays: None.

Excused: Cullin and Atchinson.

Motion Carried.

**ITEM # 3 CASE 22-008 – VAN BUREN CHARTER TOWNSHIP COMMUNITY CENTER
RENOVATION AND ADDITION – FINAL SITE PLAN**

The Applicant, Stephen J. Gedert, On behalf of Owner Van Buren Charter Township, has applied for roughly 13,446 square feet of renovations and a 16,411 Square Foot Gymnasium addition adjacent to the existing municipal building, renovations to the existing building, and the construction of associated pavements and utilities.

LOCATION: 46425 Tyler Road (PARCEL ID NUMBER 83 061 99 0006 000). the site is located east of Quirk Road and south of Tyler Road.

Director Power present his final site plan review letter dated 7-8-2022 and displayed the site plan. Most preliminary site plan comments have been addressed. Director Power recommends conditional approval of the Plan dated 4-5-2022, subject to the following conditions:

1. If the alternative second driveway is used, Wayne County Department of Public Services (WCDPS) approval of the driveway must be provided at the time of construction.
2. Any changes to the configuration of the Water and Sewer building material yard and parking area are subject to approval by the Van Buren Township Water Department.
3. The three (3) trees proposed for removal along the south end of the Water and Sewer building material yard and parking area must be replaced. • Any proposed replacement fencing along the south end of the Water and Sewer Building site is subject to review and approval by the Planning Director.
4. The final pond design shall be coordinated between the applicant and the Township Department of Public Services to ensure the basin meets all aesthetic, operational, and stormwater design needs.

Paul Kammer of Fishbeck Associates presented his final site plan review letter dated 7-8-2022. Fishbeck Associates recommends the Planning Commission grant Final Site Plan Approval, based on the engineering aspects of the project, subject to the comments and conditions in the letter being met. The stormwater management and detention pond design is the main aspect of design that will need to be worked out with the Township and Engineer prior to getting final construction approval. It is not anticipated that any of the comments or conditions listed above will impact the final layout or site design when finalized, sans the fence, and impact to the existing DPW lot. The applicant will be required to submit a final Issued for Construction plan set for approval by the Township and Engineering prior to moving forward to the PreConstruction phase of the project.

Dan Power reviewed the letter from the Fire Department from 4-26-2022 plans are approved with conditions/comments

1. There is no need at this time to place a turn-around at the end of the lot. The parking lot does not meet the provisions of an access road. NFPA 1 2018 18.2.3.1.3* (6)
2. The FDC has been relocated to the South East corner of the building.
3. It is further understood that Building, Fire Suppression, and Fire Alarm will be submitted at a later date.
4. Two-Way Radio Communication Enhancement Systems are required for all new construction, unless after finished construction the occupant can prove through a signal test with the AHJ that it is not needed.

5. In all new and existing buildings, minimum radio signal strength for the fire department communications shall be maintained at a level determined by the AHJ. NFPA 72 24.5.2.2.3

Director Power reviewed the letter from Public Safety dated 4-12-22. In the letter Chief Wright, recommended a fence for security purposes be erected around the police department's employee parking lot along with a mechanical gate across the Quirk Road parking lot entrance/exit. This will provide a visual deterrent as well as a proper barrier to stop unnecessary general public access to where all township employees park their personal vehicles. It will also provide better security for marked patrol vehicles, DPW trucks, and equipment that is stored and utilized within this area.

Commissioners had the following questions and comments:

- Treasurer Budd questioned if the enlarged stormwater pond will interfere with the existing soccer fields. Paul Kammer of Fishbeck showed the stormwater pond will be extended east not to interfere with the soccer fields. Treasurer Budd asked if there will be a fence around the pond. There is concern that the proximity to the outdoor arena area will attract kids. It is designed to be a dry detention pond. It needs to hold excess flow for 48-72 hours then it will discharge back into the system. During and after rain events there could be up to 2 ft of water. The bottom being flat and the side slopes will be walkable. Dry ponds do not require a fence. Treasurer Budd stated her concern with the pond's proximity to the splash pad and the proposed outdoor area.
- Director Power clarified if the pond is functioning properly it will be dry most of the time if there has been no rain. There could be low-level water or muddy conditions from the basic flow of water from the splash pad. In general, within 48 hours of a storm, depending on the size, there should be dry conditions in the pond.
- Commissioner Jahr asked if the current pond is dry because it is broken? Is the new dry pond designed to be mostly dry? The existing pond is designed to be a dry pond. It does not always function how it is supposed to. Commissioner Jahr asked what is the surface layer composed of, is it gravel is it grass is it mud? It should be grass. The issue with dry ponds during wet and rainy seasons is it could cause a muddy surface. Commissioner Jahr asked if the pond is functioning correctly when there is a rain event within 48 hours there should be no more standing water and it should be grass, it should look like a field most of the time? This is correct.

Motion Jahr, Barr second to grant the applicant, Stephen J. Gedert, On behalf of Owner Van Buren Charter Township the final site plan approval to construct the renovations on the Gymnasium addition adjacent to the existing municipal building, renovations to the existing building, and the construction of associated pavements and utilities at the site located at 46425 Tyler Rd. Based on the analysis and subject to the conditions in the Fishbeck letter dated 7-8-2022 Van Buren Fire dated 4-26-2022 Revised July letter from staff. Noting the

feedback and concerns disused and subject to an update on the design and safety concerns of the dry pond, which are to be present to the commission in a future meeting.

Roll Call:

Yeas: Kelley, Jahr, Barr, Budd

Nays: None.

Excused: Cullin and Atchinson.

Motion Carried.

ITEM # 4 GASOLINE FILLING AND GASOLINE SERVICE STATION ZONING ORDINANCE TEXT AMENDMENT

Proposed amendments to Article 3 (Zoning Districts and Permitted Uses) regarding the categorization of gasoline filling service stations.

Item # 4 was withdrawn by staff.

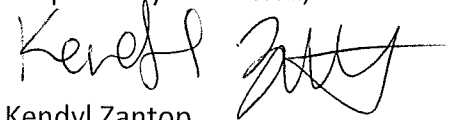
GENERAL DISCUSSION:

Director Power informed the commission there will be a public meeting for the sumpter corridor plan and a public hearing for the related zoning ordinance amendments on July 27th, 2022.

ADJOURNMENT:

Motion Jahr, Budd second to adjourn the meeting at 7:12 p.m. Motion Carried.

Respectfully submitted,



Kendyl Zantop

Recording Secretary



VAN BUREN
CHARTER TOWNSHIP

MEMO

TO: Van Buren Township Planning Commission
FROM: Dan Power– Director of Planning and Economic Development
RE: Case 22-006: Meijer Pharmacy Drive-thru Addition, Renovations
and Gas Station Addition
DATE: July 12, 2022 (**revised**)

The Planning Commission will consider a request by applicant Craig Armstrong of Elevatus Architecture on behalf of owner Meijer, Inc. to complete renovations to the existing 232,431 square foot Meijer retail store and gas station site to construct a drive-thru addition to the store's pharmacy, a 474-square foot addition to an existing 2,691 square foot gasoline station convenience store, and related building and site improvements.

The site is located at 9701 Belleville Road (parcel ID number V-125-83-058-99-0006-705), located on the east side of Belleville Road south of Tyler Road. The property is zoned C-2 - Extensive Highway Business District. The drive-thru pharmacy requires a special land use approval under Section 3.104 of the Van Buren Township Zoning Ordinance, which identifies drive-thru facilities (accessory to any principal use) as a special land use in the C-2 zoning district. A public hearing is required for special land uses under Article 12, Chapter 3 of the Zoning Ordinance.

For your reference, this packet includes a completed planning and zoning application, reports from the Township's Planning Consultant dated June 30, 2022, a report from the Township Engineer dated July 7, 2022, a report from the Township Fire Marshal dated May 17, 2022, and a copy of the public hearing notice for this request. The Planning Commission is also receiving a hard copy excerpt of submittals from the applicant which included a 57-page combined civil and architectural plan set dated June 15, 2022. A more complete set of the submittals has been made available electronically.

Many planning and engineering comments have been addressed in the submittal that is under consideration by the Planning Commission. Per Section 12.205(A)(4) of the Van Buren Township Zoning Ordinance, the Planning Commission may grant final site plan approval concurrently with preliminary site plan approval if the plans are in compliance with the requirements of the Zoning Ordinance for a final site plan. If affirmative recommendations are made for final site plan approval by the Township Engineer and Township Planning Consultant at the meeting on July 13th, I will recommend that the Planning Commission concurrently grant preliminary and final site plan approval. Following the Planning Commission's approval, the Township Board of Trustees will consider the special land use request prior to preconstruction and construction.

I look forward to assisting with this review. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Power". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Dan Power, AICP
Planning and Economic Development Director
Public Services Department
Charter Township of Van Buren



MCKENNA

June 30, 2022

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

**Subject: VBT-22-006 Meijer / 9701 Belleville; Special Land Use Review #2
Revised Site Plans Dated June 15, 2022**

Dear Commissioners:

The applicant, Meijer Inc., proposes to remodel the existing 232,541 square foot building to offer a pharmacy drive-thru, a reconfigured garden center along with upgraded façade treatments for the entire building and the remodeling of the existing gas station. The site is located on the southeast corner of Tyler Road and Belleville Road intersection. Section 3.112.C of the Zoning Ordinance permits drive-thru facilities accessory to the principal use as a special land use in the C-2 Extensive Highway Business District.

We have reviewed the special land use request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

SPECIAL LAND USE REVIEW COMMENTS

Section 12.306 of the Zoning Ordinance sets forth criteria for the Planning Commission to consider when reviewing special land use proposals. All drive-through uses are subject to special land use review. Following is our review of each criterion:

- 1. Will promote the use of land in a socially and economically desirable manner for those persons who will use the proposed land use or activity; for those landowners and residents who are adjacent; and for the Township as a whole.**

This standard has been met. The use of the site will not be changing significantly as it is fully developed as a supermarket and gas station. The addition of the pharmacy drive-through will serve residents of the area, providing a socially and economically desirable use as planned for the area. Any impacts resulting from the proposed development will be mitigated through setbacks, landscaping, screening, and architectural requirements, which are reviewed in our site plan review letter under separate cover.

- 2. Is necessary for the public convenience at that location.**

This standard has been met. The proposed use is located off Tyler and Belleville Roads, making access to it convenient for the public. The site is also part of the Belleville Road Overlay District (BROD) which is the main commercial hub for the Township.

- 3. Is compatible with adjacent uses of land.**

This standard has been met. The site is already in use as a supermarket and gas station. As previously noted, the site is located in the main commercial corridor for the Township and is located in an area with numerous other commercial uses, many of which include a drive-through component.

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4. Is so designed, located and proposed to be operated that the public health, safety and welfare will be protected.

This standard has been met. The proposed site changes involve improvements to the internal parking lot and garden center to accommodate the pharmacy drive-through. Several pedestrian-focused improvements are included, which are likely to enhance public health, safety, and welfare. Comments addressing the site layout, circulation and access are discussed in our attached site plan review letter.

5. Can be adequately served by public services and facilities without diminishing or adversely effecting public services and facilities to existing land uses in the area.

This standard has been met. We do not anticipate that the proposed site plan will affect the site's current public service capacity. The applicant is working with the Township Engineer to meet all utility requirements.

6. Will not cause injury to other property in the neighborhood in which it is to be located.

This standard has been met. The proposed site improvements will not cause injury to other properties in the neighborhood in which it is located. As noted previously, the existing site is in a corridor with similar higher intensity commercial uses and use of the site is not expected to change dramatically.

7. Will consider the natural environment and help conserve natural resources and energy.

This standard has been met. While the site plan indicates an increase in impervious surface area, the proposal shows an overall net gain of green space in the form of new parking lot landscape islands. Any stormwater related concerns will be addressed to the satisfaction of the Township Engineer.

8. Is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located and meets applicable site design standard for special approval uses.

This standard has been met. A drive-through pharmacy is within the provisions of uses requiring special approval and is in harmony with the purposes and conforms to the applicable regulations of the C-2 zoning district and meets applicable site design standard for special approval uses.

9. Is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.

This standard has been met. The proposed pharmacy drive-through use is related to the valid exercise of the Township's police power and purposes which are affected by the proposed use or activity.

The Zoning Ordinance does not have any specific standards related to drive-thru facilities for pharmacies.



RECOMMENDATION

The proposed special land use meets the general standards for consideration of special land use approval. Therefore, we recommend the Planning Commission recommend approval of the special land use to the Township Board of Trustees, subject to final site plan approval.

Respectfully,

McKENNA

Vidya Krishnan
Senior Principal Planner

Gage Belko
Assistant Planner

cc: Dan Power, Director of Planning and Economic Development



MCKENNA

June 30, 2022

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

**Subject: VBT-22-006 Meijer / 9701 Belleville; Site Plan Review #3
Revised Site Plans Dated June 15, 2022**

Dear Commissioners:

The applicant, Meijer Inc., proposes to remodel the existing 232,541 square foot building to offer a pharmacy drive-through, a reconfigured garden center along with upgraded façade treatments for the entire building, and remodeling and construction of an addition to the existing gas station. The site is located on the southeast corner of Tyler Road and Belleville Road intersection.

Based on prior review letter comments, the applicant has made revisions to the site plan based on previous reviews. We have reviewed the latest set of revised site plan based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

SITE PLAN REVIEW STANDARDS

1. **Zoning and Use.** The site is currently zoned C-2 (Extensive Highway Business District) and is occupied by a grocery/department store and ancillary gas station. The grocery store and gas station are principal permitted uses per Section 3.112.B of the Zoning Ordinance. However, Section 3.112.C of the Zoning Ordinance permits drive-thru facilities accessory to the principal use as a special land use in the C-2 Extensive Highway Business District. Our comments on the special land use are noted under separate cover.

The site is also located in the Belleville Road Overlay District (BROD). Per Section 6.303 "*The BROD is a mandatory overlay district. Property in the BROD may continue to be used as permitted by the standard zoning district and all other legal nonconformities are permitted to continue; however, any new activity that requires site plan approval in accordance with the requirements of the Zoning Ordinance shall also comply with the requirements of the BROD contained in this Chapter.*"

2. **Required Information.** Section 12.203 of the Zoning Ordinance includes requirements for information on a site plan, an internal site plan review checklist has been submitted, noting the required items and explanation of non-applicability.
3. **Lot.** The application has indicated that the site is a total area of 39.33 acres. The legal description is included with the tax parcel ID number.
4. **Dimensional Requirements.** There is no required minimum lot area or width in the C-2 Extensive Highway Business District.

The minimum required front, rear, and side yard setbacks for the C-2 District is 35 feet, 20 feet, and 25 feet respectively. The proposed building location complies with all the setback dimensions. Maximum permitted

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building height in the C-2 District is 4 stories and 40 feet. The elevations proposed indicate a maximum building height of 23 feet and 4 inches, compliant with the Zoning Ordinance.

5. Access and Circulation.

- a. **Location of Curb Cuts.** Access to the new pharmacy drive-through is to be provided via the existing driveways off Tyler Rd., with an existing cross access driveway off Belleville Rd., which provides access to the Meijer Express Gas Station. The access drives are 38 feet wide, with one lane for ingress and two lanes for egress. No change is proposed.
- b. **Vehicle Circulation.** The plan proposes a horseshoe-shaped drive-through for vehicular access to the pharmacy service window, with ingress and egress along the main access drive off Tyler Rd. To avoid conflicts with an existing drive to the north, the drive-through is a self-contained one-way lane with pavement markings, signage, pedestrian striping, and bollards surrounding the paved center island. The drive-through also features thickened and heavy-duty asphalt treatments to differentiate it from existing drives.

Previously, the pedestrian island area in the middle of the pharmacy drive-through was noted as an 'outdoor sales area', with an intent to display plants for the garden center. However, we had concerns regarding pedestrians actively crossing the drive-through and increased chance for pedestrian-vehicular conflicts. The revised plans eliminates the outdoor sales proposed, and adds perimeter plantings that contribute favorably to the pedestrian circulation and safety.

- c. **Sidewalks.** The site has an existing sidewalk along its Tyler Road frontage leading into the parking lot. The plan proposes the repaving of the sidewalk along the building's western face leading into concrete pedestrian island at the center of the drive-through and into the reconfigured garden center. The sidewalk and pedestrian island create a plaza where garden displays will be featured. Connection to this plaza from Tyler Road is made via pedestrian striping leading from the terminus of the concrete sidewalk to the crosswalk leading to the plaza from the barrier-free parking spaces. Additional access is provided to the main building via crosswalk striping from the plaza.

6. Parking and Loading.

- a. **Space Dimensions.** The revised plan notes parking spaces dimensioned with a width of 9.5 feet. All spaces are shown double-striped as required. Barrier free parking spaces on the site are also ADA compliant.
- b. **Number of Parking Spaces.** Revised parking calculations have been provided:

Standard	Applicable Measurement	Number of Spaces Required	Number of Spaces Provided
Gas Station			
1 space per gasoline pump	12 pumps	12	12
1 space per employee at maximum shift	3 employees at maximum shift	3	3 (in main lot)



1 space per 200 square feet of useable floor area	80% of 3,165 SF = 2,532 SF useable floor area	13	11 (in gas station lot) 2 (in main lot)
Retail Stores (larger than 50,000 sq. ft)			
1 space per 200 square feet of useable floor area up to 25,000 sq. ft	80% of 226,626 SF = 181,301 SF useable floor area First 25,000 SF	125	125
1 space per 250 SF for the second 25,000SF	Second 25,000 SF	100	100
1 space per 350 SF for each 25,000 SF thereafter	Remaining = 131,301 SF	377	607
Totals:		630 (13 barrier-free)	860 (37 barrier-free)

The subject site has a 37% surplus of parking spaces, although the ordinance limits it to 20%. The excessive parking was established at a time when there were no such limits in the Ordinance. The proposal at this time adds several additional land scape islands and reduced the amount of parking on the site, but a lot still remains. *We recommend that in the future if any additional outlots are developed on the north side of the site, the excess parking be used towards such use instead of construction of more impervious surface.*

- c. **Stacking Spaces.** Section 9.102 details parking spaces required for each use. Eight (8) stacking spaces dimensioned at 20 feet long by 10 feet wide have been provided, in compliance with the ordinance. These spaces do not conflict with any existing access lanes.
 - d. **Barrier Free Spaces.** The site includes a total of 37 barrier free accessible spaces. All of the spaces are ADA compliant and are spread out through the site.
 - e. **Loading.** Existing loading areas on the main site are shown to be 80 feet in length; while individual loading area widths are not provided, they appear to be an average of 15 feet wide, which complies with the ordinance.
 - f. **Bicycle Parking.** Chapter 3 of Article 6 provides standards for buildings within the BROD. Per this chapter, one (1) bicycle parking space shall be provided for each twenty-five (25) vehicle parking spaces or fraction thereof. Sheet C-200 shows two (2) bike racks, one each abutting the north and south entrance to the store. Per the applicant's response letter each section can accommodate 30+ bikes. With the vast parking area, the number of bike parking space proposed are adequate. Plan and manufacturer details are given on sheet CG700. A smaller bike rack is also included for the gas station convenience store.
7. **Landscaping and Screening.** The site is located in the Extensive Highway Business (C-2) district. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others.
- a. **Landscaping Adjacent to the Right-of-Way.** A landscaping plan has been provided, breaking down the calculations for existing, proposed, and required landscaping among five different areas of the site along



with a planting schedule. For the three areas adjacent to the right-of-way, the plan demonstrates compliance with the ordinance, with extensive planting at the corner of Tyler and Belleville Roads and near the site's entrances.

- b. **Parking Lot Landscaping and Screening.** Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public or private rights-of-way. Adequate screening of the parking lot is provided by the landscaping adjacent to the right-of-way as described above. This is in addition to the existing berms along these frontages that aid in screening.

Interior Parking Lot landscaping. Several new interior landscape islands and increased planting in existing islands are proposed. Each landscape island has at least one required deciduous tree per 300 square feet of landscaped area and the necessary curb stops. Additional landscaped islands have been provided at the southernmost row of parking, bringing this arrangement of parking into compliance. The parking area to the north of the proposed pharmacy appears to be retained as is. We recommend that the applicant consider adding landscape islands at the end of each row to provide for breaks in the expanse of pavement and redo the only portion of the site that is not being addressed. The pedestrian island at the center of the drive-through has been converted to a landscaped plaza instead of an outdoor sales area.

- c. **Loading Area Landscaping.** Additional plantings are proposed within the existing landscape island for the southern loading area, demonstrating compliance for staggered evergreens placed 15 feet apart on center. Further evergreen landscaping is proposed at the northern edge of the parking lot directly across from the northern loading area, providing additional screening from Tyler Road.
- d. **Display Area Buffering.** The plan shows details for fencing that buffers the outdoor garden display area from the rest of the site. The revised plan also proposes landscaping within the interior pedestrian island of the drive-through, addressing the concern of unnecessary pedestrian crossing and potential vehicular conflicts with the drive-through. However, the outdoor sales display still appears on Sheet ES101-2 and must be deleted.
- e. **Greenbelt Buffering.** Section 10.103 (E) provides greenbelt buffering standards. A ten (10) foot wide buffer, with one (1) tree per thirty (30) linear feet is required in Areas 1 and 2. Area 4 adjacent to residentially zoned lots, requires a 20-foot wide buffer with one tree per 20 linear feet. The revised plan brings the evergreen trees into the greenbelt area and staggered among the proposed deciduous trees to meet this requirement.
- f. **Detention Pond Landscaping.** The site has an existing detention pond on the northeast corner of the site. The applicant has submitted a letter dated November 5, 2020 from ENCAP Inc. outlining stormwater system clean-up on the site done in September 2020. The applicant's response letter notes that Wayne County approval letter is included in the packet; however, the submittal includes an email from Wayne County approving only the soil erosion permit. Functioning of the pond at this time is subject to review and approval by the Township Engineer and Wayne County for compliance with current stormwater detention requirements. Any planting around drainage areas is under Wayne County's jurisdiction.
- g. **Specific Landscaping for C-2 Zoning District.** Developments in the C-2 District require contiguous outdoor space, independent of sidewalks, pedestrian circulation areas, and required landscaping, in an amount not less than one (1) square foot for each twenty-five (25) square feet of principal building and in no case less than two hundred fifty (250) square feet in total. The applicant has noted that 9,192 square feet of contiguous outdoor space is required. The applicant provides a total of 28,715 square feet of landscaped area, but does not differentiate between required landscaping and the additional outdoor space and amenities. The standard appears to be met through the landscaped area near the gas station,



Area 4, and enhanced drive-through pedestrian island, however, calculations need to be updated to indicate the individual areas.

- h. BROD Landscape Standards.** Section 6.310 provides landscape standards for development projects within the BROD. These standards are described in the landscape plan and have been met, including the provision of perennial beds and street trees.
- 8. Tree Removal Permit.** A tree removal permit is required if the applicant proposes to remove any trees of 5" caliper or larger. It does not appear that any trees are being removed as part of this project.
- 9. Stormwater Pond.** The proposed additions for the main building and the gas station are to be located on an existing paved impervious surface. We do not anticipate any significant changes to stormwater detention requirements; However, as previously stated, it appears the stormwater system on the site was cleaned in September 2020, but needs to be reviewed by the Township Engineer and Wayne County for compliance with current storm water detention standards, as required.
- 10. Lighting.** The plan submitted indicates that existing light poles at the edge of the garden center will be relocated to accommodate the drive-through. One will be placed at the northern edge of the pedestrian island, and another will be placed near the entrance of the garden center, east of the drive-through. Additionally, a new fixture will be installed within the canopy above the pharmacy service window and within the overhang (noted as 'canopy' in the plan) along the building frontage.

Manufacturers cut sheets for proposed fixtures and a photometric plan for the pharmacy area and gas station have been provided. Average illumination for the pharmacy area appears to be adequate while minimizing light trespass to neighboring properties. Illumination intensity directly under the gas station canopy shall not exceed 20 footcandles and must be demonstrated as compliant with the requirements of Section 8.105 (B)(2) through a full photometric plan.

- 11. Architecture and Building Details.** The applicant has submitted revised elevations for the proposed renovation to the main building. Overall, the buildings are comprised of primarily brick and glass. For the main building, the existing brick face at the north and south of the building are to remain and new brick veneers are proposed for the center of the building. EIFS has been minimized in the revised proposal, appearing as 'Fawn Brindle' and 'Colonnade Gray' with matching fascia accent panels. Existing brick on the northern façade will remain and will be adjacent to a proposed brick veneer where the pharmacy drive-through is. The remaining existing CMU will be painted 'Fawn Brindle' to match the veneer.

The gas station is also proposed to be comprised primarily of brick, with variations in color and orientation to provide variety and CMU walls are to be painted 'Fawn Brindle' found throughout the façade. The canopy over the drive-through window will be painted 'Loyal Blue' to match the fascia panels of the façade. The fascia along the western face of the pharmacy will be painted 'Fawn Brindle,' matching the brick. Additionally, the canopy is now proposed to include an 'Interstate Blue' mansard style roof and brick support columns that brings the structure into compliance with BROD standards.

- 12. Dumpster.** One existing trash compactor is show to the south of the main building and one dumpster location is show to the east of the gas station. Modifications are proposed to the enclosure to update it.
- 13. Signs.** The applicant is proposing several *incidental* pole signs for the pharmacy drive-through area including three single-sided stop signs, one double sided stop/wrong way sign, and a pharmacy drive-up sign. Additionally, the plan indicates crosswalk, directional, and 'STOP' lettering pavement treatments along the



drive-through lane. Because of the signs' incidental nature, designed to be seen only by users within the site, they are exempt from the zoning code. Review of these signs does not indicate they will infringe upon the public health, safety, or welfare of the public using the site.

New 'Pharmacy Drive Up' and 'Meijer' wall signs are proposed for the western façade. The applicant has noted that signage will be submitted at a later date with a sign package for administrative approval.

14. Other. Decorative fencing details have been provided for the garden center and are compliant with the ordinance. The only outdoor storage proposed is at the rear of the garden center within the fenced in area.

RECOMMENDATION

The revised plan addresses most of the concerns noted in our previous review letters. The proposed improvements to the site will enhance the site and bring it closer into compliance with the BROD standards. Therefore, we recommend that the Planning Commission grant preliminary site plan approval for the proposed addition of a pharmacy drive-through and additional site improvement for Meijer located at 9701 Belleville Road, subject to the following conditions:

1. Removal of outdoor sales area shown on sheet E-101(2).
2. Clarification of calculations with regard to required landscaping square footage of various areas on the site.
3. Revised photometric plan to indicate compliance with illumination intensity below the gas station canopy.
4. Wayne County and Township Engineer approval of storm water detention.

Respectfully,
McKENNA

Vidya Krishnan
Senior Principal Planner

Gage Belko
Assistant Planner

cc: Dan Power, Director of Planning and Economic Development
Paul J. Kammer, FTCH, Township Engineers
Andy Leneghan, Van Buren Township Fire Marshal

July 7, 2022
Fishbeck Project No. 220578

Dan Power
Director of Planning and Economic Development
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Meijer Addition & Renovation Site Plan Final Site Plan and Engineering Review

Dear Director Power:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Final Site Plan submitted to the Township and distributed for Final Site Plan and Engineering review on June 20, 2022 for the Meijer Store Addition and Renovation for the Meijer Store at 9701 Belleville Road (Store #072, Meijer Project #: CP-22-00072).

This project entails the reconstruction and upgrade to the façade and entrance of the existing Meijer Store, as well as a renovation and expansion of the existing gas station on site. The project includes the removal and replacement of the existing entrances, removal of the existing garden center, construction of a new pharmacy drive-thru, replacing the existing parking lot in front of the building, proposed island additions, and upgrades and expansion of the existing gas station building and façade for the out lot.

Fishbeck and the Township have previously conducted preliminary level reviews for feasibility and the applicant has addressed those comments within the new submittal reference above. Any additional or lingering comments or concerns with the new submittal are listed in the below letter.

Our review comments are as follows:

General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. Soil boring information, including the ground water elevations, must be provided.
 - a. **RESPONSE:** *The applicant has chosen not to do soil borings, due to lack of underground work. The applicant has stated that a 3rd Party inspector will be onsite, determining soil bearing capacity. They have also acknowledged the below comment from our previous letter.*
 - b. **Additional Comment [Preliminary Review (5-31-22)]:** It is ultimately the applicant's responsibility to determine soil bearing capacity and ground water for any excavation work they are performing. The Township inspector(s) has the right to require additional testing be done if results are not acceptable.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records and the applicant's plan indicate there is a watermain loop around the existing Meijer building, running north-south and east-west around the project area.

An approved water main connection is also being installed as part of another project for the Jiffy Lube Multi-Service Center located in the NW quadrant of the existing Meijer loop. This connection extends to the NW to a new hydrant and service for the Jiffy Lube outlet.

Proposed: The applicant's plan does not indicate a proposed water main or water main connection to the exterior public water main, nor is there any modification to the existing water main system for the work on this project.

Comments:

1. No comments at this time for water main or water service adjustments.

Sanitary Sewer

Existing: The applicant's base plan indicates there are two sanitary service lines to the existing building. One from the west/northwest side of the building and one from the east/southeast side of the building. Both service lines are connected to the private sanitary sewer system on site, which eventually discharges into the public sanitary main along Belleville Road. The plans also indicate an existing sanitary sewer service line from the east side of the gas station building. It appears the sanitary service connects directly into the Belleville Road sewer, however, Township GIS does not show this service line. Also, as mentioned above, the approved Jiffy Lube Multi-Service Center plans also include a new sanitary sewer system, which runs along the southern portion of the gas station site. This system includes deep sewers and manholes. The system runs from the Jiffy Lube out lot to the Belleville Road sewer in the southwest corner of the gas station lot.

Proposed: The applicant's plan does not indicate any adjustment to the service leads to either building.

Comments:

1. No comments at this time for sanitary service adjustments.

Storm Sewer

Existing: The plans provided show the existing storm sewer network, as it collects runoff from the main Meijer lot, as well as the outlots. Runoff is collected through the system and is diverted to the east side of the lot before being discharged into the existing detention pond/wetland. The north side of the property collects into a system that flows around the north side of the building, eventually discharging through a 24-inch outlet into the wetland, while the south side of the property collects into a system that flows around the south side of the building and discharges through a 36-inch outlet into the wetland.

Proposed: The applicant's plan proposes slight modifications to the existing storm sewer system near the garden center. The existing seepage drains will remain in place, however, small storm structures are being proposed to be added on top of and tapped into the seepage drain system.

The plans indicate that the work to the main building, gas station, and both parking lots, which all contribute to the same system storage, result in a net change of impervious area of 0 square feet.

Comments:

1. It is our understanding that the Meijer Site drainage system and pond have been a cause for some concern with the Township. The applicant has provided a "Stormwater Restoration Work" narrative, explaining the restoration and revitalization work that was done to the existing pond in September of 2020. This work mainly involved minor tree and brush removal and outfall/outlet restoration. It shall be the applicant's responsibility to maintain the functionality of the system throughout and after construction is complete.

Paving and Grading

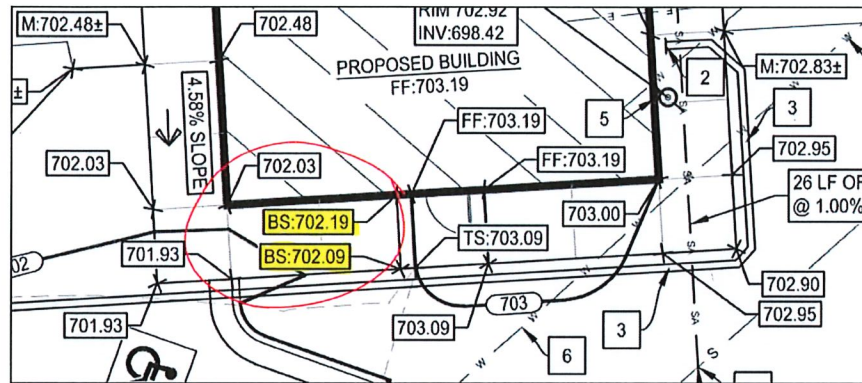
Existing: The plans provided show the existing HMA parking lot and islands are currently configured. Existing topographic survey of the area also indicates the existing layout of the sidewalks, ramps, and parking lot areas.

Proposed: The applicant's plan proposes resurfacing the area in front of the building with either an HMA overlay or a full concrete reconstruction, as well as a new pavement (concrete) pad for the drive-thru area. Other paving modifications include the areas around the new islands, the new pharmacy drive-thru, and the gas station parking lot reconfiguration due to the building expansion. There is no indication of any other repair or maintenance to the site pavement, except that impacted by the construction.

Grades are also given for the proposed sidewalk areas around the buildings.

Comments:

1. Applicant to verify the grades around the gas station building. Below shows a snippet where there is a 1.0 ft grade difference:



2. Any changes to the sidewalk ramp allowable detectable warning style and color is something that will need to be discussed with the Planning Department and Consultant.

Soil Erosion and Sedimentation Control

1. The applicant has received approval from Wayne County for the SESC plan included in the plan set. The applicant will be required to secure the Permit from the County before any work shall be conducted on site.

Recommendation

Fishbeck recommends Final Site Plan approval based on the attached Engineering Review for the Meijer Store Addition and Renovation project referenced in the above letter, subject to the applicant addressing the final comments listed.

If you have any questions regarding this project or our comments listed above, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE

Senior Civil Engineer

By email

Copy: Britney Williams – Township
Kris Schlutow - Township
Vidya Krishnan– McKenna
Dave Potter – Fishbeck

Andrew Lenaghan
Deputy Fire Chief/Fire Marshal
O: 734-699-8900 ext9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp., MI 48111



May 17, 2022

Director of Planning and Economic Development
Department of Public Services
46425 Tyler Rd.
Van Buren Township, MI 48111

Meijer Store/Gas Station 072 Renovation
9701 Belleville Rd.
Van Buren Township, MI 48111

I have reviewed a set of plans, dated 1/21/2022, and received 5/13/2022. The plans call for a demolition and remodel of the existing storefront, gas station, and the addition of a new pharmacy drive through. According to the plans, the existing fire hydrants and access roads will remain unchanged.

The plans are approved with the following exceptions: **All concerns have been addressed in the last submittal**

~~The fire suppression system shall remain operational at all times during the renovation~~
~~**NEPA 1 2018 16.4.4.1**~~

~~All required exit components shall be maintained during the renovation. lock box will be required for the facility.~~

~~**NEPA 1 2018 16.4.4.6 A**~~

The "Knox box" required for Van Buren Township can be found at www.knoxbox.com
If you have any questions regarding this plan review, I can be reached at 734-699-8900 x 9416

Andrew Lenaghan
Deputy Fire Chief/ Fire Marshal

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

July 8, 2022

Dan Power
Director of Planning and Economic Development
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

**Van Buren Township Community Center Addition and Renovation Site Plan
Final Site Plan and Engineering Review #2**

Dear Director Power:

At the request of Van Buren Township (Township), Fishbeck has completed a second Engineering review for the plans submitted to the Township (dated July 5, 2022) for the Final Site Plan and Engineering review for the proposed Community Center Addition and Renovation. The engineering standards review is conducted utilizing the standards and requirements set forth in the Township Engineering Standards Manual (April 2014), as well as site specific design requirements for all onsite utilities, pavement, and general engineering details.

This project entails renovation and expansion of approximately 35,200 square feet of space to the existing Township Hall located at 46425 Tyler Road between Belleville Road and Quirk Road. Proposed improvements to the building include, a gymnasium with elevated running track, group fitness room, open fitness gym, multipurpose/party rooms, black box theater, youth area, child watch/playroom, a new lobby and entrance vestibule, renovated offices, locker rooms, restrooms, and other support spaces. Improvements to the surrounding site include, proposed parking lot and island reconfiguration to accommodate 400 parking spaces, water system loop around the proposed building, sanitary sewer lead, storm drain system including a mechanical storm treatment structure and a detention basin, and other various landscaping and site plan improvements.

The previous Final Site Plan and Engineering plan submittal was reviewed, but did not receive a Final Site Plan approval recommendation, as outlined in the Fishbeck letter dated May 20, 2022. Responses to the previous comments are outlined within the letter below.

Our review comments are as follows:

General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. All easements, proposed and existing, must be indicated on the plans. A 12-foot water main easement shall be assumed for all existing water main onsite. Proposed water main easements must extend a minimum of 6 feet beyond any hydrants. The applicant shall work with the Township to include any existing or previous public utilities within the easement that may not have previously been recorded.
Response: The applicant has reached out to the Township to include any existing easement information on the plan set and no information was found. In addition to the proposed watermain, the existing watermain will be shown to have a 12-foot-wide easement to be recorded.
2. In general, removal limits of existing bituminous pavement should be revised so no small slivers of existing pavement remain in place. Removal of pavement should be squared off for ease of construction and longevity of the life of pavement.
Response: Removal limits of existing bituminous pavement have been revised to avoid small slivers of existing pavement remaining in place and to square off for ease of construction and longevity of the life of pavement.

Water Main Service

Existing: The Township’s Geographic Information System (GIS) records indicates there are multiple public water mains adjacent to or within the area of development. An existing 16-inch public water main runs east-west along the south side of Tyler Road across the entirety of the Township site. There is a single hydrant and an isolation gate valve in the northeast (NE) quadrant of the site on this main. Additionally, there is an 8-inch public water main that runs north-south along Quirk Road on the west side of the roadway. A separate 8-inch water main is tapped off the Quirk Road main and runs easterly to a hydrant located near the existing fuel tank site. This line also feeds the service lines for the existing Township Hall and Department of Public Works (DPW) Buildings.

Proposed: The applicant’s plan proposes an 8-inch public water main loop, tying the 16-inch Tyler Road water main to the 8-inch hydrant extension near the south side of the site. The loop is to be tapped at the east end of the site along Tyler Road and wrap around the new proposed wing of the Community Center at the south, before tying in to the 8-inch extension near the existing fuel tank site. The loop includes a new isolation valve-in-well, a tapping sleeve and valve, two new hydrants and the reinstallation of the existing hydrant at the end of the 8-inch lead. It is assumed that the proposed 6-inch water lead to the building addition is for fire suppression and the domestic service for the addition will be provided by the existing service within the existing building.

Comments:

1. The new water main alignment has eliminated many of the unnecessary bends within the loop, however, has now created some alignments that may cause issues with future maintenance and lends to some awkward offsets and unfavorable pavement replacement. The previous straight-line alignment of the water main was acceptable (and desirable) however the excess bends were the problem. A hybrid of the two designs, similar to the blue line (drawing to the right) should be considered. The applicant shall explore a configuration that limits the number of required fittings and places the proposed water main locations are easily accessible for future repair and maintenance, which also limits the impact to pedestrian access (sidewalk repair).

Response: *Ongoing conversation with Fishbeck have occurred to provide a configuration that limits the number of required fittings and places the proposed watermain locations are easily accessible for future repair and maintenance, which also limits the impact to pedestrian access.*

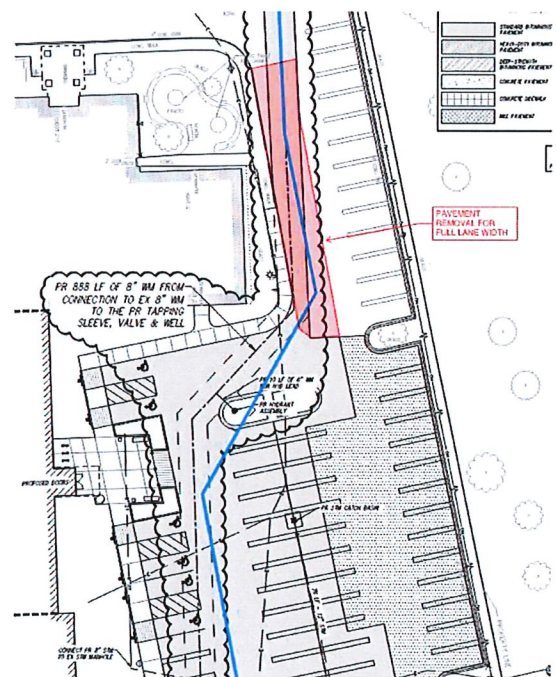
2. Please also see the red outline for limits of pavement replacement to be sure no slivers of pavement remain. Uniform pavement repair/replacement shall be done when possible (See General Note No. 4).

Response: *Plans have been revised per limits of pavement replacement to be sure no slivers of pavement remain.*

3. Final say on all hydrant coverage, locations, and accessibility will be made by the Township Fire Marshall. Minimum hydrant spacing in relation to the Fire Department Connection (FDC) location will be determined by the Township Fire Marshall. Hydrant located at the southeast (SE) corner of the building is too close to the outside wall. Hydrants should be located a minimum of 40 feet away, unless otherwise approved by the Fire Marshall.

Response: *Noted and plans have been reviewed and approved by the Township Fire Marshall.*

4. Gate Valve 2 should not be located in the side slope of the proposed swale, please revise swale layout. It is also advised the construction details for the proposed concrete spillway be indicated. It is also recommended



that the inlet be changed to a catch basin rather than an end section due to the fact you have flow coming from opposing directions. Riprap shall be provided to protect spillway from erosion.

Response: *Gate Valve 2 has been relocated out of the side slope of the proposed swale. Details for the proposed concrete spillway have been indicated on the paving and layout plans. The existing inlet has not been changed to a catch basin, but riprap has been provided. A catch basin did not seem feasible with the existing pavement grade and potential rim.*

5. Final Water Main plans must be submitted to EGLE for approval of all public water main design. Upon acceptance of the Engineering Plans, the applicant will be responsible for submitting three sets of full size paper copies of the plans, in conformance with the requirements from EGLE, as well as the EGLE Permit Application for Drinking Water Systems.

Sanitary Sewer

Existing: The Township's GIS records indicates there is an 8-inch Polyvinyl Chloride (PVC) truss pipe that acts as the public sanitary sewer outlet. The existing Township Hall and DPW service lines tap the upstream manhole with an 8-inch and 4-inch service line, respectively.

Proposed: The applicant's plan indicates a 6-inch sanitary building lead from the proposed building expansion. The 6-inch line heads westerly from the building extension to a new sanitary manhole located on top of the existing 4-inch service line from the DPW building. The new manhole is the upstream limit of a new 8-inch sanitary main that runs westerly until it intersects with the existing 8-inch outlet pipe from Township Hall upstream of the existing tie-in to the sanitary main along Quirk Road. The proposed layout allows for minimum slopes to be met in the 6-inch (>1.0%) and 8-inch (>0.4%) lines.

Comments:

1. The applicant shall add a note to the sanitary sewer proposed layout to have the Contractor verify the location of the existing 4-inch and 8 inch mains prior to determining final layout (similar to the water tap notes).

Storm Sewer

Existing: The existing Township Hall site collects runoff via a combination of spillways, culverts, and enclosed sewers. The system eventually outlets to an existing lift station.

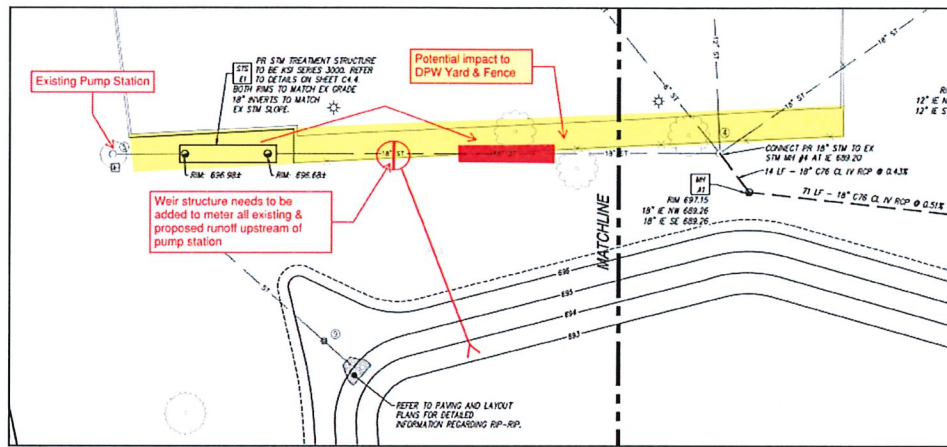
Proposed: The applicant's plan is proposing to capture stormwater runoff via a system of inlets and an enclosed storm sewer system. The proposed system is designed to connect to the existing storm sewer system upstream from the proposed mechanical treatment structure. The plans currently show no weir structure to meter the flow of runoff into the existing pump station.

Township Discussion: Prior to submittal of the updated plans, the Township and the applicant have had several conversations about consolidating the overall stormwater management for both the proposed and existing system. Information on the existing pump station did not determine a metered value that could be used to determine if runoff was being detained the proper amount of time, thus it was determined that the entire contributing system would need to be accounted for and detained per Township Standards. The applicant would be responsible for detaining all flow upstream of the pump station for the required time, per the Township standards. The assumption was made that the existing swale/detention ponds between the soccer fields were functional and the flow from anything south of the splash pad would not be considered. Based on this criteria, the applicant has proposed a single, larger pond to accommodate all the incoming flow. The pond will be a dry pond, which is acceptable by the Township.

Comments:

1. While combining the runoff from the existing and proposed systems, the applicant did not include a weir structure to meter flow, but instead assumed that the existing pump station was the metering device. The

- Township does not have information on the flow capacity of the pump station and will require all metering to be done upstream of the pump station. The Township will be replacing the pump station in a future project and wants excess flow to be routed to the new detention pond. The applicant shall include the design of a weir structure with the proper allowable discharge rate downstream of the proposed mechanical structure.
- Calculations for the detention pond and the weir structure must be included when the structure is included. The applicant shall make sure the design water level of the detention basin is a minimum of at least 1-foot below the rim elevation of any storm water structure upstream of the detention basin. If this cannot be accomplished, the applicant must have justification and approval from the Township.
 - The plans must include a detention basin section view, showing overall detention volume elevation, freeboard elevation and all inlet and outlet elevations.
 - When the updated configuration is included, the applicant must also determine the level of disturbance to the DPW yard. Removal and replacement of the fence will be required. Design parameters for the fence and location will be determined by the Township.



Paving and Grading

- Is the intention of the proposed curb on the east side of the parking lot to be poured against the existing hot mix asphalt (HMA) parking lot? The preference would be to saw cut an excess of 2 feet so the curb and gutter can be poured against a form, rather than an existing pavement edge.

Response: *The intention of the proposed curb on the east side of the parking lot is to be poured once the existing pavement is sawcut. Please refer to demolition plans for existing pavement to be sawcut and removed.*

Soil Erosion and Sedimentation Control (SESC)

- The SESC plan provided appears to be in accordance with the *Township Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements. The SESC plan must also be in accordance with Wayne County SESC standards. A permit must be acquired from the Wayne County SESC County Enforcing Agency.

<https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx>

Response: *Plans will be submitted to Wayne County SESC County Enforcing Agency to acquire a permit prior to construction activity beginning.*

- What is the intended construction access/haul route? The plan must indicate a mud mat or gravel drive prior to entering/exiting existing roads.

Recommendation

Fishbeck has reviewed the engineering aspects of the Final Site Plan for the Community Center project. At this time, we recommend the Planning Commission grant Final Site Plan Approval, based on the engineering aspects of the project, subject to the comments and conditions in the above letter being met. The stormwater management and detention pond design is the main aspect of design that will need to be worked out with the Township and Engineer prior to getting final construction approval. It is not anticipated that any of the comments or conditions listed above will impact the final layout or site design when finalized, sans the fence and impact to the existing DPW lot. The applicant will be required to submit a final Issued for Construction plan set for approval by the Township and Engineering prior to moving forward to the PreConstruction phase of the project.

If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE

Senior Civil Engineer

By email

Copy: Kris Schlutow – Township
Vidya Krishnan– McKenna
Dave Potter, PE – Fishbeck

Andrew Lenaghan
Deputy Fire Chief/Fire Marshal
O: 734-699-8900 ext 9416

Van Buren Fire Department
46425 Tyler Rd
Van Buren Twp., MI 48111



April 26, 2022

Director of Building and Planning
46425 Tyler Road
Van Buren Township, MI 48111

Charter Township of Van Buren
Community Center
46425 Tyler Road
Van Buren Township, Michigan 48111

A set of plans were received February 18, 2022 for the Van Buren Township Community Center. This Facility was reviewed for compliance with the Van Buren Township adopted fire code NFPA 1 2018. Fire Department access, and water supply, were the focus of this review. **The plans have incorrectly identified the Van Buren Township Fire Code as IFC 2015, future submittals will need to reference NFPA 1 2018.**

The site plan as submitted is approved with the following exceptions.

Fire Department Access

~~The parking lot on the eastern side of the complex that leads to the baseball diamond has a dead end that exceeds 150 feet.~~

~~Dead-end fire department access roads in excess of 150 feet in length shall be provided with approved provisions for the fire apparatus to turn around~~ ~~NFPA 1 2018 18.2.3.5.4~~

There is no need at this time to place a turn-around at the end of the lot. The parking lot does not meet the provisions of an access road. NFPA 1 2018 18.2.3.1.3* (6)

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

Water Supply

The required fire flow and spacing of the fire hydrants for the type of construction and square footage of the building complies with the fire code. ~~However, the Fire Department Connection (FDC) on sheet C3.2 is obstructed by vehicle parking. The FDC needs to be moved to the southeast corner of the building by the hydrant, or 1 parking space in front of the FDC will need to be eliminated and marked accordingly.~~

The FDC has been relocated to the South East corner of the building.

It is further understood that, Building, Fire Suppression, and Fire Alarm plans will be submitted at a later date.

Two-Way Radio Communication Enhancement Systems are required for all new construction, unless after finished construction the occupant can prove through a signal test with the AHJ that it is not needed.

In all new and **existing buildings**, minimum radio signal strength for fire department communications shall be maintained at a level determined by the AHJ. **NFPA 72 24.5.2.2.3**

Andrew Lenaghan
Deputy Chief/Fire Marshal
Van Buren Township



MEMO

TO: Van Buren Township Planning Commission

FROM: Dan Power – Director of Planning and Economic Development

RE: Final Site Plan Review #22-008 – Van Buren Township Community Center

DATE: July 12, 2022 (**revised**)

Project Summary

This report contains review comments for **final site plan review** of a proposed 13,446 square foot renovation and a building addition totaling 21,763 square feet (16,411 square foot first floor addition, 5,352 square foot mezzanine addition) for purposes of providing a Community Center and site upgrades at the Van Buren Township administrative campus. In addition to extensive indoor programming explained in a project narrative and in the submitted floor plans, the improvements will include exterior improvements including a performance plaza, a fitness patio (as an alternate item), additional parking, walkways and landscaping. The proposed building addition will be 34'-8" in height. The subject site is located at 46425 Tyler Road (parcel ID number 83 061 99 0006 000). The site is zoned O-T – Office Technology. The lot is approximately 14.5 acres in area. The Planning Commission granted preliminary site plan approval on March 9, 2022. The submittal being provided to the Planning Commission includes a set of civil / site and architectural plans provided by the applicant dated July 5, 2022. An abridged set of these plans will be provided to the Planning Commission in hard copy and the complete set will be available electronically. Throughout this report, recommended conditions or requests for revisions are underlined.

Zoning and Use

As previously discussed, the proposed use is as a publicly-owned recreational facility, which is a permitted use by right in the O-T zoning district. The use also includes outdoor components including a new performance plaza. A detailed use description is provided at the top of the Architectural Site Plan sheet. A detailed description of all proposed uses appears on Sheet AS103.

Required Information and Overall Formatting Comments

A master plan sheet index is provided on the cover sheet of the submitted plan set. Existing conditions are shown on sheets C2.1 – C2.3 which show the existing footprint of the Township municipal building and topographical survey data for the main affected portion of the site.

Dimensional Requirements. The proposed addition meets all applicable height and setback requirements. The property's required front yard setbacks are each 50, its required rear yard setback is 30', and its required side yard setback adjacent to the residential property to the east is 50'.

Access, Circulation and Traffic Impacts

- **Overall traffic and circulation.** The most significant impact of the proposed site plan on circulation during the preliminary site plan review stage of the project was the closure of access to public safety and general personnel parking. The applicant previously provided a Traffic Impact Statement in their narrative submittal. The narrative states that the building's several functions (Township Hall, Police Department, Senior Center, and Community Center) will have staggered times of usage. A letter with written justification for the need to provide separate access, dated April 12, 2022, was provided by the Van Buren Township Police Chief. Note that the current plan has a proposed alternative design with a second driveway to be located at the northwest corner of the site with access to Quirk Road. This will be located in the area that is outside of the secure personnel parking area and therefore accessible to site visitors. This second driveway may provide a benefit for overall site circulation and safety by providing a second means of egress and ingress in major events. If the alternative second driveway is used, Wayne County Department of Public Services (WCDPS) approval of the driveway must be provided at the time of construction.
- **Location of Curb Cuts and Cross Access.** Apart from the proposed alternative second driveway mentioned above, there are no proposed changes to curb cuts or new cross access between the subject site and neighboring properties. The proposed site plan does provide a new connection to the Quirk Park property to the south.
- **Sidewalks.** No new public sidewalks are proposed. The site plan contains a sufficient network of internal sidewalks with one exception. A new internal sidewalk network alongside parking and public open space is shown in the proposed Plan.

Parking and Loading

- **Space Dimensions.** Minimum parking space dimensions (20' deep, 9.5' wide) and access aisle minimum dimensions (24' wide) are adequately conveyed on the Plan.
- **Number of Parking Spaces.** The applicant lists 357 total parking spaces as being required based on the summation of 119 spaces being required for the existing public safety and Township Hall offices (one space per 300-sf at 35,477-sf), 181 spaces being required for the Community Center and Senior Center (one space per 200-sf at 36,105-sf), seven spaces being required for the recreation center (one space per 300-sf of office at 2,069-sf), and 50 spaces being required for the theater (one space per 3 seats at 150 seats). 400 parking spaces are provided.

- **Barrier Free Spaces.** Under Section 8.103, eight (8) barrier free spaces are required on site and ten (10) barrier free spaces are provided.
- **Loading.** No loading is shown beyond existing loading in the current employee parking lot.
- **Snow Storage.** The Township Public Services Director has confirmed there will be adequate snow storage locations in the proposed parking lot.
- **Other comments.** The configuration of the proposed stormwater management system may result in the removal of 2-3 parking spaces within the Water and Sewer building material yard and parking area. Any changes to the configuration of the Water and Sewer building material yard and parking area are subject to approval by the Van Buren Township Water Department.

Landscaping and Screening. The applicant shows all proposed landscaping in sheets L-1 – L-5 and an irrigation plan in sheet IR-1. An extensive landscaping plan is provided for the area surrounding the proposed renovation and addition. The site plan is exempt from a tree removal permit and tree inventory requirement as a public property, in accordance with Section 8.106(C) of the Van Buren Township Zoning Ordinance. In 2020-2021, the Township completed significant campus-wide landscaping. The comments in this report will focus on landscaping standards of Article 10 of the Township Zoning Ordinance as it pertains to the area that did not previously have landscaping performed and where new improvements are proposed (“Affected Area”). Many conditions placed on landscaping based on the preliminary site plan submittal have been addressed.

Applicable landscaping standards and required additional information on the landscaping plan related to these standards is listed below.

- **Overall formatting comments.** The applicant has provided a plant list and a “Landscape Tabulation Schedule for the Affected Area.” This schedule is based on the relevant sections from Article 10 of the Van Buren Township Zoning Ordinance, as listed below in items 10.103(A)-(G).
- **10.103(A). Frontage Landscaping.** No new frontage landscaping is required as no portion of the site’s frontage which has not recently had landscaping done is part of this project.
- **10.103(B).**
 - **Parking Lot Screening.** The required 10’ of open space buffer surrounding the parking lots along the site’s frontage remains in place.
 - **Interior Parking Lot Landscaping.** 5% of interior parking lot area must be provided as interior parking lot landscaping. Each separate interior landscaped area shall be a minimum of three hundred sixty (360) square feet in area and shall have a minimum width of ten (10) feet. Each interior landscape area shall contain at least one (1) deciduous tree. One (1) deciduous tree shall be planted for each three hundred (300) square feet of interior landscaping. All required interior parking lot landscaping shall be planted within the landscaped islands or in

landscaped areas within twenty (20) feet of the perimeter of the parking lot, provided that such landscaping is not also counted toward other landscape or screening requirements. The applicant demonstrates that there is 3,203-sq. ft. of overall interior parking lot landscaping required based on the affected parking lot area being 64,060 square feet. 3,462 square feet of landscaping is provided for this requirement, distributed as 16 trees, including one (1) tree that will be replaced where a tree requires removal by the alternative driveway approach. The interior parking lot landscaping requirement is met.

- **10.103(C). Loading Area Landscaping.** Not applicable.
- **10.103(D). Display Area Buffering.** Not applicable.
- **10.103(E). Greenbelt Buffering.** The Affected Area borders on a residential zoning district. This requires the application of a “Type B” greenbelt. The Type B Greenbelt requires a 20’ wide green space with one tree every 20’, or installation of a 6’ high masonry wall. The site’s type “B” greenbelt perimeter includes area adjacent to the site’s existing east parking lot. As part of preliminary site plan approval, the Planning Commission modified the required 20’ wide “Type B” greenbelt to reduce it to 4’9” on the east lot line. Required planting volumes based on the Type B greenbelt requirement must be provided. The total length of Type Greenbelt perimeter is listed as 595’ on Sheet L-1. This would typically require 30 trees. Based on a modification granted by the Planning Commission during preliminary site plan review, the applicant may use three (3) shrubs in place of every one (1) tree that is required. This requires a total of 90 shrubs. The applicant proposes 98 shrubs. This requirement is met.
- **10.103(F). Office Technology (O-T) District Landscaping.** In the O-T zoning district, perimeter landscaping around a building is required at a rate of one (1) deciduous or evergreen tree per 40’, one (1) ornamental tree per 100’, and one (1) shrub per 10’. Based on the building perimeter area of 630’, 16 deciduous or evergreen trees, seven (7) ornamental trees, and 63 shrubs are required. Sixteen (16) deciduous or evergreen (“large”) trees, seven (7) ornamental trees, and 152 shrubs are proposed. The requirements for foundation plantings in the O-T zoning district are met.
- **10.103(G). Open Space Landscaping.** With the final site plan submittal, the applicant has calculated that there is a total affected open space area of 140,168 square feet. At a rate of one (1) required tree per 3,000 square feet of open space, 47 trees are required. 47 trees are proposed.
- **Detention Pond Landscaping** does not require any additions on the schedule of required landscaping. The proposed storm drainage basin has been redesigned since the time of preliminary site plan review based on direction provided by staff which has prompted expanding the existing stormwater detention basin rather than using two (2) basins. Landscaping around the previously proposed second detention basin has been reallocated and moved in a curvilinear manner around the expanded single detention basin.

- **Other comments.** The configuration of the proposed stormwater management system may result in the additional removal of three (3) existing trees along the south end of the Water and Sewer building material yard and parking area. The three (3) trees proposed for removal along the south end of the Water and Sewer building material yard and parking area may require replacement, subject to field inspection by staff. Trees that are dead or removable trees that were not included as part of the site's original landscaping plan may not require replacement.

Lighting. Lighting on the site will either be existing or relocated existing lighting. If any new light poles are proposed in the Affected Area of the site in the future, the photometric plan must comply with Section 8.105 of the Zoning Ordinance.

Dumpster. There are no proposed changes to the existing dumpster.

Fencing. New security fencing and a gate is proposed to provide only secure access for employee parking at the entrance to the site on Tyler Road. The proposed fence is a 5' tall black aluminum fence. Fencing and gate details have been provided on sheet L-5 and meets the standards of the Van Buren Township Zoning Ordinance. The configuration of the proposed stormwater management system may result in the additional removal of fencing along the south end of the Water and Sewer building material yard and parking area. Any proposed replacement fencing along the south end of the Water and Sewer Building site is subject to review and approval by the Planning Director.

Architecture and Building Details. A series of flat roofs in this site as designed with a series of tiered features will provide consistency with the architecture of the existing building and will provide some visual interest. Staff supports the proposed building architecture, subject to Planning Commission approval. The Planning Commission previously recommended the approval of the building's architecture. Based on elevation drawings provided, rooftop HVAC equipment will be adequately screened from the neighboring properties and public rights-of-way.

Signs. The applicant indicates that signage will be limited to wall mounted lettering and Township logo as shown in the attached elevations. The Township will file a permit for signage separately from the requested site plan review.

Topographic and Grading Information. The site is relatively flat. In the proposed renovated east parking lot, stormwater drains to central catch basins on the inside of the parking lot. Additional grading changes will occur in the south end of the project area to accommodate the proposed expanded stormwater detention basin.

Other Specific O-T District Requirements. The proposed building's site amenities are consistent with the Premiere Community Amenity Plan adopted by the Township in 2000, per Section 3.114(F) of the Zoning Ordinance.

Miscellaneous Site Plan Clarifications

- The existing fuel station is listed as "to be removed." This will be relocated as part of a separate project. The site's emergency generator will also be relocated.
- According to the applicant, the existing plaza will be demolished and removed from the site. There are no plans at this time to save or repurpose any of the existing amenities. The Township may opt to save some of these items before the demolition begins

Additional **Stormwater Management** comments will be provided by the Township Engineer.

Recommendation

Most preliminary site plan comments have been addressed. I recommend conditional approval of the Plan dated 4-5-2022, subject to the following conditions being addressed prior to the time of a preconstruction meeting with Township staff:

- If the alternative second driveway is used, Wayne County Department of Public Services (WCDPS) approval of the driveway must be provided at the time of construction.
- Any changes to the configuration of the Water and Sewer building material yard and parking area are subject to approval by the Van Buren Township Water Department.
- The three (3) trees proposed for removal along the south end of the Water and Sewer building material yard and parking area may require replacement, subject to field inspection by staff.
- Any proposed replacement fencing along the south end of the Water and Sewer Building site is subject to review and approval by the Planning Director.
- The final pond design shall be coordinated between the applicant and the Township Department of Public Services to ensure the basin meets all aesthetic, operational, and stormwater design needs.

Thank you for allowing me to assist with this review.

Sincerely,



Dan Power

Director of Planning and Economic Development, Van Buren Charter Township

CC: Elizabeth Renaud and Tammy Dohring, Van Buren Township Department of Community Services

Stephen J. Gedert, AIA – Neumann Smith

Paul Kammer, PE, Van Buren Township Engineering Consultant – Fishbeck

Andrew Lenaghan, Van Buren Township Fire Marshal

Kristopher Schlutow, Van Buren Township Interim Water and Sewer Director

Lawrence Lockett, Van Buren Township Director of Public Services